



CITY OF GENEVA
BUILDING DIVISION
109 JAMES STREET
GENEVA, IL 60134
630/262.0280
630/262.0286 fax
www.geneva.il.us

Garage (Detached) Permit Information

Revised: 12/31/2013

A building permit is required prior to constructing a detached garage. The following are guidelines and comments for obtaining a building permit.

Application and Drawing Procedures:

- An Application for Permit is to be filled out and submitted to the Building Division.
- For any property within the Historic Preservation District, approval is required by the Historic Preservation Commission prior to obtaining a permit through the Building Division. Please contact Michael Lambert at 630 938-4541 or mlambert@geneva.il.us for more information.
- Two (2) copies of drawings showing the construction details of the garage is to be submitted with the application **or** fill in the boxes on the wall section and floor plan page of this packet. If the plans are larger than 11" X 17", an electronic PDF file is required.
- Two (2) copies of the plat of survey showing the location of the garage (drawn to scale), proposed grading plan and **showing the location the electric service line running into the house**. An "as built" survey may be required if the proposed garage will be installed within a foot of the required setback.
- One (1) copy of the electrical service one line diagram.
- One (1) copy of the Roofers state of Illinois Roofing license and a letter of intent on their letterhead.
- Allow a minimum of 15 working days for the permit application to be reviewed and approved. A staff member will call you when your permit is ready to be picked up and paid for.
- A Tree Preservation Review Application is required if there is a 10 inch or larger tree on the property or any size tree on adjacent public or private property within approximately 50 feet of the construction activity zone. Please see our Tree Preservation Review Application for more details.

Fees:

- **Garage permit fee:** 50.00 plan review fee plus \$75 for the first \$1K of the project cost, then \$10 per \$1K of project cost or portion thereof.
- **Re-inspection fee:** \$75.00 to be paid prior to re-inspection if an inspection has failed.
- We accept cash, check (made payable to the City of Geneva), MC and Visa.

General Comments:

- **The application packet and stamped City approved plans are to be on the job site at all times.**
- A minimum of 24-hour notice is required when scheduling any inspection.
- Compliance with the indicated codes, ordinances, and inspections required.
- No accessory building shall be constructed prior to construction of the principal building to which it is accessory.
- A detached accessory building or structure shall not exceed the height of the principal structure on the zoning lot, or twenty five feet (25') whichever is less.
- Minimum footing depth requirements are considered to be below finished grade. (see handout)
- All structural lumber spans are governed by the most current edition of Western Lumber Span Tables.
- A 3' x 3' concrete pad is required at the exterior side of the service door if same is included in the design.
- If electric placement is voluntarily included with this permit, the minimum placement requirements are 1 GFI protected receptacle and a switch controlled light at the exterior side of the man door. 2005 NEC
- When garage electric is to be drawn from the existing service panel, the proper burial depth of the conduit/conductors is based on the location of the trench and materials chosen. 2005 NEC
- Signed agreement to provide a paved surface driveway is required to be on file before issuance of permit if the City of Geneva determines that seasonal weather conditions are not conducive for immediate placement of paving.
- No structure shall be occupied or used until the final inspection has passed.

Inspections – Clarification and Details:

The following is a list of inspections, which may be required for your project and the approximate amount of time it takes for each inspection.

✓ Footing pre pour	¼ hour
✓ Slab pre pour	¼ hour
✓ Framing	¼ hour
✓ Electric	¼ hour
✓ Electric trench	¼ hour
✓ Final	¼ hour

The following are general guidelines and details on the types of inspections that may be required for your project. For further clarification please call our office and speak with one of our building inspectors.

Footing:

- ✓ The inspection of the concrete footing is conducted prior to any concrete being poured.
- ✓ The location of the garage is checked to ensure that it is being placed in the correct location.
- ✓ The setbacks are checked from the property lines to ensure the garage is located out of the easement areas.
- ✓ The proper footing will be poured.

Slab:

- ✓ The inspection of the slab is conducted prior to any concrete being poured.
- ✓ The proper slab will be poured.

Frame:

- ✓ Framing inspection will be checked per the plan design.
- ✓ Walls must be bolted 6 foot on center to concrete slab with sill sealer installed.
- ✓ Roof pitch and headers will be checked for compliance with code.

Final:

- ✓ At this inspection we confirm that the garage is completed including the paint, roof, and that the framing is per the approved plans.
- ✓ Any installed electric will be checked for code compliance.
- ✓ Driveway must meet driveway requirements found in driveway packet.

Setbacks:

- ✓ **Interior Side Yard** is determined by the zoning of the property
- ✓ **Rear Yard** is determined by the zoning of the property
- ✓ Detached accessory buildings or structures shall be located a minimum of 10-feet from any principal building on the lot.
- ✓ No accessory building shall be located in whole or in part on or over an easement for utilities, drainage, access, or related purposes.

Building Codes:

The following are the Building Codes that have been adopted by the City of Geneva:

- City of Geneva Municipal Code
- 2009 Int'l Building Code w/amendments
- 2006 Int'l Mechanical Code
- 2012 Int'l Energy Conservation Code
- 2005 Nat'l Electrical Code
- 2004 IL State Plumbing Code
- 2006 Int'l Residential Code w/amendments
- 2003 Int'l Fire Codes w/amendments

Homeowner and Contractor Responsibilities:

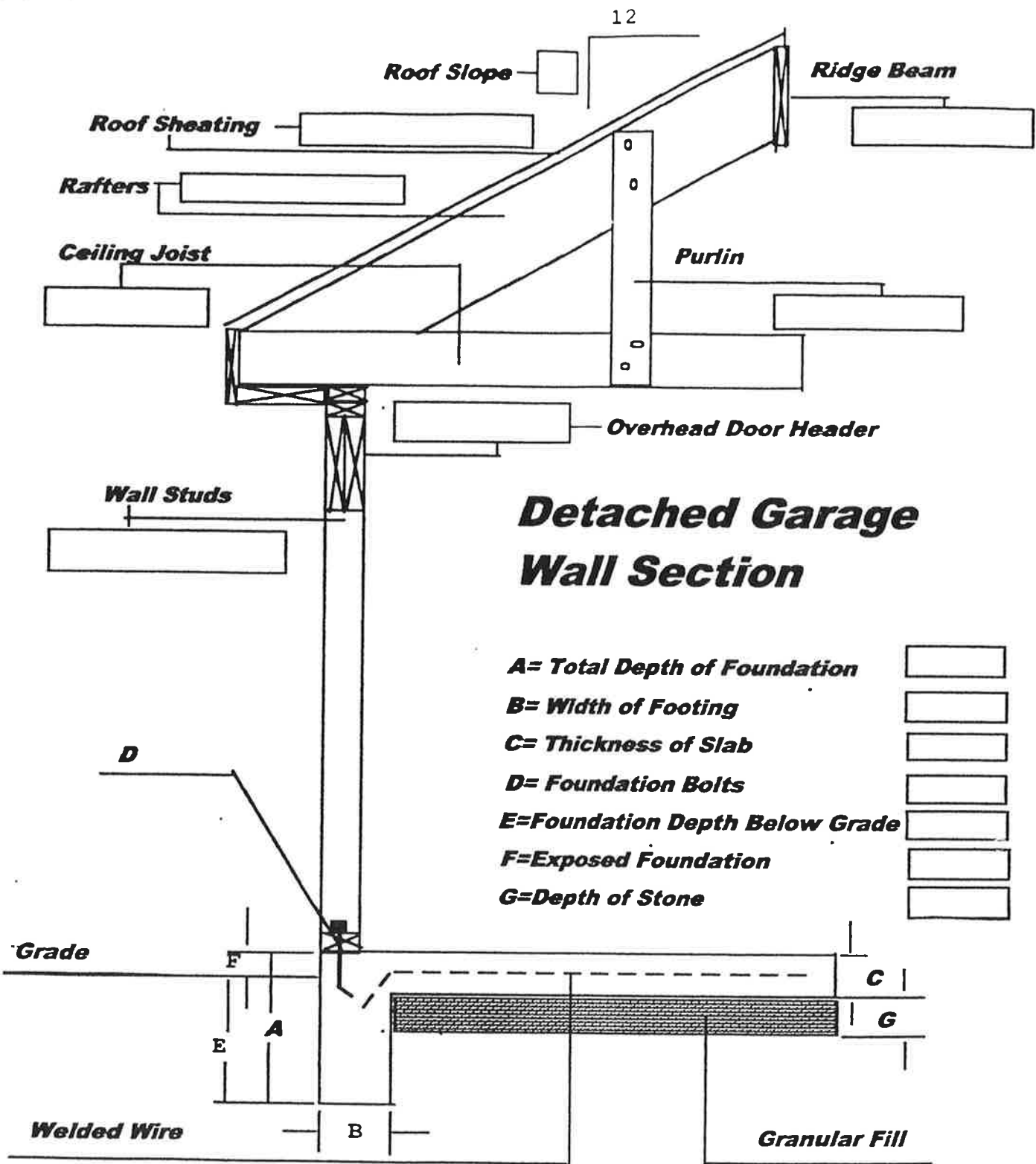
- It is the responsibility of the homeowner/contractor to schedule with the Building Division the required inspections.
- The required inspections are indicated on the plan review form and weather card, which is attached to the permit

and the field copy of drawings. When scheduling an inspection, please have the address and permit number available.

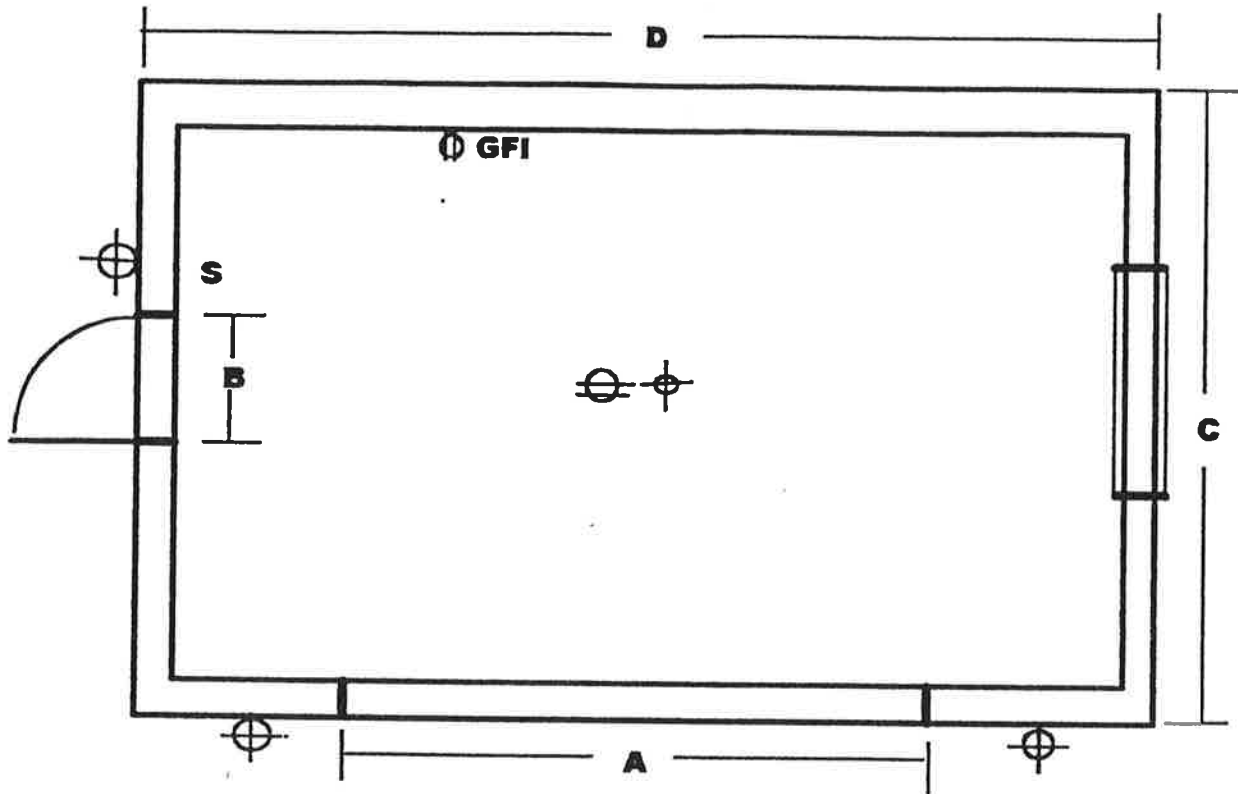
- Inspections require a minimum of 24 hour notice. Please call (630) 262-0280 to schedule inspections.

Call **J.U.L.I.E.** (Joint Underground Location for Inspectors and Engineers) at least 48 hours prior to digging on site to locate any underground utilities. **(1-800/892-0123)**

- Electric Utilities Red
- Comcast (Cable) Orange
- Northern Illinois Gas (NICOR) Yellow
- Sewer Utilities Green
- Telephone Utilities Orange
- Water Utilities Blue



Detached Garage



A= Door Size

B= Door Size

C= Garage Depth

D= Garage Width

E = Electric

Detached Garage Floor Plan



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BUILDING DEPARTMENT
109 JAMES STREET
GENEVA, IL 60134
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630/262.0286 fax
pdf@geneva.il.us

For Office Use Only

PERMIT NUMBER _____

BIN NUMBER _____

APPLICATION FOR PERMIT

PROJECT ADDRESS

APPLICANT

Check here if applicant is property owner

Name _____

Address _____
City State Zip

Email _____ Phone _____

PROPERTY OWNER

Name _____

Address _____
City State Zip

Email _____ Phone _____

CONTRACTOR

Name _____

Address _____
City State Zip

Email _____ Phone _____

Roofing License _____ Plumbing License _____

BUILDING TYPE

- Residential
- Commercial
- Other

TYPE OF WORK - GENERAL

- Change of Tenant
- Remodel
- New construction
- Addition
- Demolition
- Other

TYPE OF WORK - SPECIFIC (Check all that apply)

- Driveway/Parking
- Sidewalk
- Basement/Attic
- Kitchen/Bath
- Replace Windows
- Roof/Siding
- Sign/Awning
- Irrigation System
- Fence
- Patio
- Shed
- Deck
- Electric
- Plumbing
- HVAC
- Other

DESCRIPTION OF WORK

Applications will not be accepted without supporting documentation, attach additional sheets and submit plans/drawings, plat of survey, etc. as needed to illustrate proposed work

HISTORIC PRESERVATION

Is subject property located in the Historic District or a Historic Landmark? Historic Preservation Commission review is required for exterior improvements.

Yes No

ZONING

What zoning district is the property located in? _____

Is the use permitted at this location? Yes No

Is a variance needed? Yes No

PROJECT COST

What is the estimated project cost? _____

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OR THAT THE PROPOSED WORK IS AUTHORIZED BY THE OWNER OF RECORD; THAT I HAVE BEEN AUTHORIZED BY THE OWNER TO MAKE THIS APPLICATION AND TO SCHEDULE ALL NECESSARY INSPECTIONS AS AN AGENT, AND THAT I AGREE TO CONFORM TO ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE CITY OF GENEVA.

Signature _____

Date _____

For Office Use Only

FEES

ROUTING

Building Permit Fee _____
 Fire Department Fee _____
 Plumbing Fee _____
 Public Works Fee _____
 Tree Preservation Fee _____

Engineering _____
 Fire _____
 Electric _____
 City Engineer _____

Historic Preservation _____
 Tree Preservation Review _____
 Planning/Zoning _____
 First Inspection Services _____

TOTAL FEES _____